

**AGENDA
BOARD OF ZONING APPEALS
JULY 18, 2019
LAKEWOOD CITY HALL**

**PRE-REVIEW MEETING
6:00 P.M.
EAST CONFERENCE ROOM**

**REVIEW MEETING
6:30 P.M.
AUDITORIUM**

- 1. Roll Call**
- 2. Approve the minutes of the June 20, 2019 meeting**
- 3. Opening Remarks**
- 4. NEW BUSINESS**
Docket No. 07-15-19
1509 Arthur Avenue

Property owners Rebecca and Steven Margevicius propose the construction of a 900 sq. ft. addition to their primary residence and the construction of an eight-foot x ten-foot. shed in the side yard. Per code, accessory structures must be in the rear yard. Request is for a variance to construct an 80 square foot shed in the side yard on the south side of the property 18 inches from the side lot line as indicated on the site plan. The shed will be visible from the public right-of-way and requires approval from the Architectural Board of Review ("ABR"). Pursuant to section 1123.09(c) – maximum lot area coverage. Property is in an R2, Single and Two-Family district. (Page 3)

- 5. Docket No. 07-16-19**
1455 Northland Avenue

Property owner Morgan Bishop is remodeling his entire home and wishes to reconstruct the rear two-story porches which were removed more than a year ago. The applicant proposes the construction of a 60 square foot unroofed patio deck 13 feet 11 inches above grade; an unroofed patio deck may be located at a maximum of 42 inches above grade. Request is a variance to of 125 inches to construct the unroofed patio deck at 13 feet 11 inches above grade, pursuant to section 1123.03(d) – permitted accessory uses. The property is in an R2, Single and Two-Family district. (Page 18)

- 6. Docket No. 07-17-19**
1381 Thoreau Avenue

Property Matthew Miller proposes the construction of a 96-inch tall wood fence on the south, west and north sides of the rear yard to match the existing height of the fence installed by the City of Lakewood along the east side of his property (rear property line). In the R2, district any lineal foot of a fence that is greater than 72 inches in height but less than or equal to 96 inches must be at least 50% open to the through passage of light and air. Request a variance to construct three separate sections of fence.

- (a) Request a variance to erect 58 feet of wooden fence along the south side lot line in the rear of the property as indicated on the proposed site plan that is 96 inches or less in height and less than 50% of any lineal foot is open to the through passage of light and air.
- (b) Request a variance to erect 8 feet 6 inches of wooden fence in the rear of the property parallel to the west(front) property line as indicated on the proposed site plan that is 96 inches or less in height and less than 50% of any lineal foot is open to the through passage of light and air.
- (c) Request a variance to erect 16 feet of wooden fence in the rear of the property parallel to the north(side) property line as indicated on the proposed site plan that is 96 inches or less in height and less than 50% of any lineal foot is open to the through passage of light and air.

Pursuant to section 1153.02 – regulations. Property is in an R2, Single and Two-Family district. (Page 26)

ADJOURN

APPLICATIONDOCKET No. 07-15-19

FEE PAID _____

BOARD OF ZONING APPEALS

Property Address 1509 Arthur Ave. Property Owner Name Steven + Rebecca Margevicius
Owner Phone 440-390-0080 Owner Address 1509 Arthur Ave.
Zoning Residential R-2 Parcel Number 314-02-128
Description of Request/Hardship See attached documents.

APPLICATION FEE: \$25 Residential - \$50 Commercial.**Incomplete or Late Applications will not be Accepted.**

(See calendar on page 2 for deadlines)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11).
3. Photos of the existing conditions.
4. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11).
5. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form).
6. Fee.

Applicant Name (Print Clearly): Steven Margevicius Company N/AApplicant Address: 1509 Arthur Ave.Phone: 440-390-0080 Fax: _____ E-mail: Steven.margevicius@gmail.comSignature: Str J. Margevicius Date: 7/1/19

Owner Signature (if different from Applicant): _____

By signing I, the Owner of Property, hereby grant authority for the above applicant to represent my interest in this matter.

OFFICE USE ONLY: Application Reviewed and Accepted by: Michelle Porter Date: 7-3-2019

File History: _____

Bldg. Dept. Remarks: _____

ORD.

SECTION

91-951123.09(c)

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? ☒ Yes ☐ No

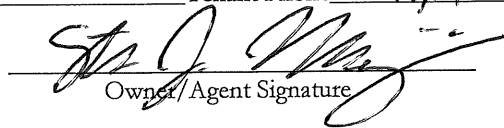
Please Print or Type:

Owner/Agent Name: Steven Margevicius

Property Address: 1509 Arthur Ave.

Owner/Agent Phone: 440 - 390 - 0080

Tenant Name N/A Tenant Phone N/A


Owner/Agent Signature

2019 Calendar Board of Zoning Appeals

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
January	Wednesday	01-02-19	Thursday	01-17-19	Thursday	01-17-19
February	Wednesday	02-06-19	Thursday	02-21-19	Thursday	02-21-19
March	Wednesday	03-06-19	Thursday	03-21-19	Thursday	03-21-19
April	Wednesday	04-03-19	Thursday	04-18-19	Thursday	04-18-19
May	Wednesday	05-01-19	Thursday	05-16-19	Thursday	05-16-19
June	Wednesday	06-05-19	Thursday	06-20-19	Thursday	06-20-19
July	Wednesday	07-03-19	Thursday	07-18-19	Thursday	07-18-19
August	Wednesday	07-31-19	Thursday	08-15-19	Thursday	08-15-19
September	Wednesday	09-04-19	Thursday	09-19-19	Thursday	09-19-19
October	Wednesday	10-02-19	Thursday	10-17-19	Thursday	10-17-19
November	Wednesday	11-06-19	Thursday	11-21-19	Thursday	11-21-19
December	Wednesday	12-04-19	Thursday	12-19-19	Thursday	12-19-19
January	Wednesday	12-31-20	Thursday	01-16-20	Thursday	01-16-20

PLEASE NOTE: Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings start at **6:00 P.M.** in the **East Conference Room** (adjacent to the auditorium) of Lakewood City Hall. Use the rear northeast entrance to the Auditorium.

Review Meetings will commence at **6:30 P.M.** in the **Auditorium** of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting in order for an application to receive review. Use the rear northeast entrance to the Auditorium.

EXHIBIT A
SUMMARY POINTS OF VARIANCES IN LAKEWOOD BOARD OF ZONING APPEALS MEETING
FOR A VARIANCE TO BE GRANTED,

The Practical Difficulty test requires that the Board **consider and weigh** the following factors:

- (1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;
- (2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;
- (3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);
- (4) Whether the variance(s) is substantial;
- (5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);
- (6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);
- (7) Whether the property owner purchased the property with knowledge of the zoning restriction;
- (8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and
- (9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

This Board is composed of volunteer citizens serving without financial compensation. The Charter and Ordinances of the City of Lakewood set the Board's power. All interested persons may take notice that all documents included with an application for the Board, or any application addenda, statements, maps, diagrams, sketches, photographs, or other materials, Proffered to the board by any person (whether present at the hearing, or not), shall be considered by the Board prior to rendering its decision on the application. No permits shall be issued unless submitted plans conform to those approved by the Board. In the event a deviation or modification exists between the approved plans and any plans subsequently submitted to the city, other than a minor or insignificant deviation as determined by the Commissioner, a successive variance request must be filed and heard to address said deviation.



July 1, 2019

Dear Lakewood Board of Zoning Appeals:

We are requesting permission to construct a 8ft. x 10ft. single story shed in our back yard of 1509 Arthur Ave. This shed would be located behind our wooden fence in back yard (see attached drawings for specifics). Current zoning rules state the structure must be built behind the home. We are requesting permission to build the shed next to the back of the house's new addition in fenced-in side yard.

Rationale for request:

- We have a growing family with a 2 year old and 7 month old at home. We are in the midst of a significant (approx. 900 sq. ft.) home addition and plan to commit to living in Lakewood for many years. With our (at least) 2 children growing up we will require an outdoor storage location in addition to our small garage for bikes, balls, hockey sticks, etc.
- Our backyard already has a power pole in it supporting electrical and cable/phone lines to ours, and multiple neighbor houses. This power pole makes it difficult/unsafe/illegal to build the shed close-by.
- As it will be behind our fence, the proposed shed will have minimal visibility from the road. It will be professionally built and will have matching siding and roof shingles to our existing house.
- We have spoken with my next door neighbors on proposed shed side. They support the construction of the shed and will be providing your committee a signed letter affirming this.

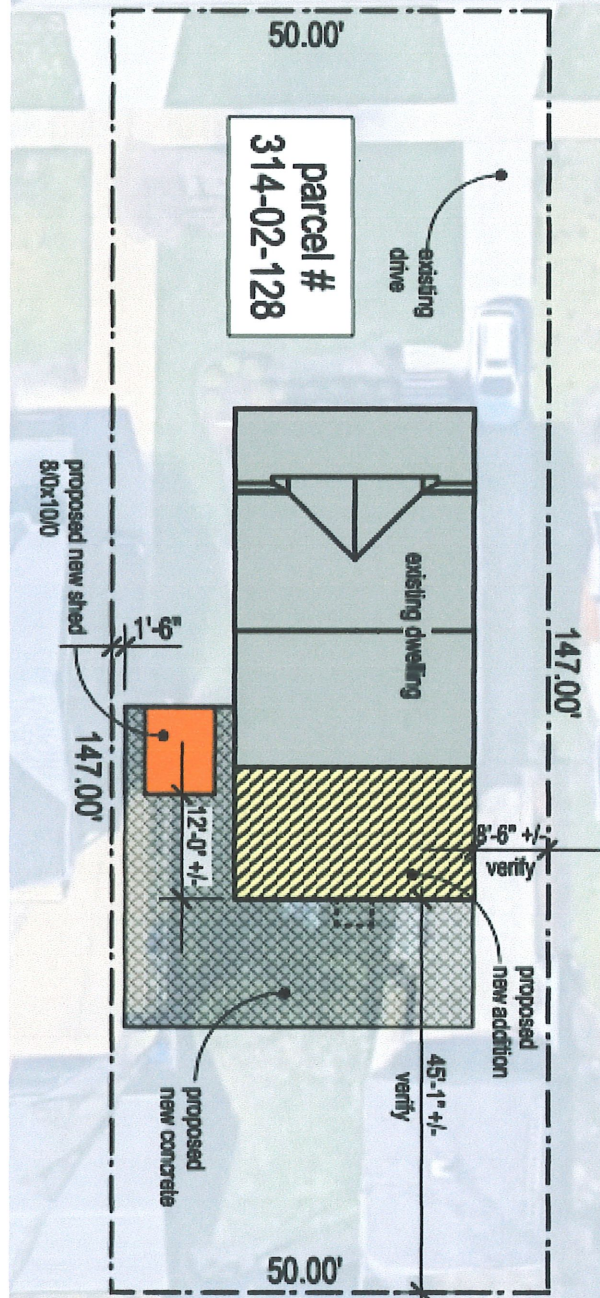
We hope you will agree that our home addition and proposed shed will produce an aesthetically proper addition to our neighborhood. Should you have any questions, please do not hesitate to contact us at 440-390-0080 or steven.margevicius@gmail.com.

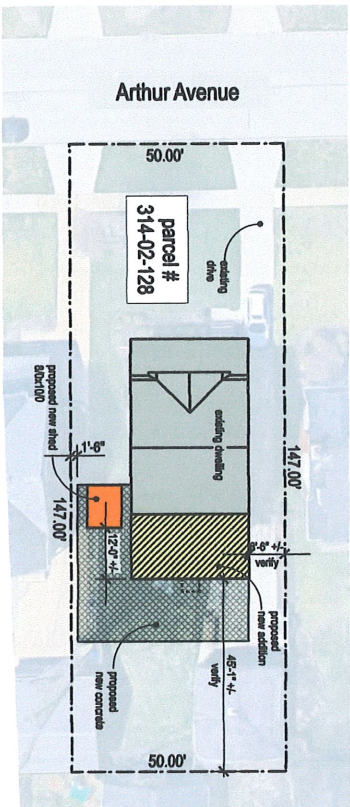
Thank you for your consideration,

A handwritten signature in black ink, appearing to read "Steven and Rebecca Margevicius". The signature is fluid and cursive, with the first name "Steven" being more prominent.

Steven and Rebecca Margevicius

Arthur Avenue





site plan
 $T = 20^{\circ}-0'$

note:
 this site plan is diagrammatical
 not to be construed as actual survey,
 actual conditions and dimensions
 may vary. verify and confirm the accuracy
 of this site plan prior to commencement
 of construction.

margevicius residence

1509 arthur avenue lakewood, ohio 44107

code summary & design criteria

2013 residential code of ohio (IRC)
 2017 national electric code (NEC)
 2017 ohio mechanical code (OMC) 2017 ohio plumbing code (OPC)
 2009 international energy conservation code (IECC)
 2009 international energy conservation code (IECC)

Design Snow Load:
 section 301 design criteria
 figure 301.2(6) ground snow loads
 roof snow load = 20 psf

Design Wind Load:
 table 301.2(2) component and cladding loads for a building
 with a mean roof height of 30 feet located in exposure b
 90 mph (3 second gust)

baseline structural criteria & design information

Framing Lumber (Minimum):	Live Loads:	Soil Bearing Capacity (Min.):
E = 1,600,000 psi	Floor = 30 psf	2500 psf
F _y = 1200 psi	Floor = 40 psf	
F _y = 90 psi	Ceilings = 20 psf (sweeping)	
	Roofs = 20 psf	
Masonry (LVL):	Decks = 40 psf	Allowable Deflections:
E = 2,000,000 psi	Balconies (Exterior) = 40 psf	Ceilings = L/160
F _y = 2800 psi		Roofs = L/80
F _y = 280 psi		Floors with tile = L/800
		Beams & Headers = L/600
Steel: ASTM A-36	Dead Loads:	Units for Masonry: L600
E = 29,000,000 psi	Roof = 20 psf	(L = Span Length)
F _y = 22 ksi	Ceilings = 10 psf	
F _y = 14.5 ksi	Floor = 12 psf	
W Shapes:		
Section 1601 (AISC)	Concrete:	
F _y = 50,000 psi (AISC A992)	Footings: F _c = 3000 psi,	
	Slabs: F _c = 4000 psi,	
	(with 6% Air Entrainment	
	For Exterior Exposure)	
Plates:	Concrete Block:	
F _y = 58,000 psi (AISC A36)	F _c = 1500 psi	
Anchor Bolts:		
AISC A307		
(may Use A308 Or A325)		

color & finish schedule

	Type	Color
Siding		
Roof		
Brick		
Stone		
Trim		
Stairs		
Skull		

structural notes

1. The structural specifications are a suggested baseline and should be verified prior to the commencement of construction. The building contractor should adjust these values as required to meet local codes or building conditions.
2. The drawings show the general details of construction. The contractor shall notify the designer where additional details are required, or where conditions are encountered that are not anticipated by the drawings.
3. The contractor is to verify all dimensions prior to fabrication and construction. Notify designer of any discrepancies.
4. The structure is designed to be self-supporting and stable after the building is fully completed. It is the contractor's sole responsibility to determine erection procedure and sequence and ensure the safety of the building and its component parts during construction. This includes the addition of whatever shoring, temporary bracing, underpinning, earth retention, etc. that may be necessary.

notice

A complete and careful review of these plans should be performed by the party responsible for executing the work prior to construction.

The building contractor should verify all site conditions and review all manufacturer's shop drawings for compliance prior to assembly, installation or construction.

All framing and structural elements must comply with all governing codes and be installed according to common practice and industry standards.

All federal, state and local codes, ordinances and regulations, etc. shall be considered a part of the specifications of this building, and are to be adhered to even if they are in variance with the plan.

building information

Owner's Name:

Builder's Name:

Builder's Phone:

Building Location:

design vision, inc.

4503 State Road
 Cleveland, Ohio 44109
 (216) 435-1200
 designvision.com

Sheet 1: cover sheet
 Sheet 2: site plan
 Sheet 3: foundation plan
 Sheet 4: foundation plan
 Sheet 5: main floor plan
 Sheet 6: upper floor plan
 Sheet 7: section
 Sheet 8: details
 Sheet 9: elevation plans

notes:
 1. See final plans and specifications for all details and conditions. All work shall be in strict accordance with the Building Code of Ohio and the conditions stated in the contract documents. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for the safety of the building and its component parts during construction. This includes the addition of whatever shoring, temporary bracing, underpinning, earth retention, etc. that may be necessary.

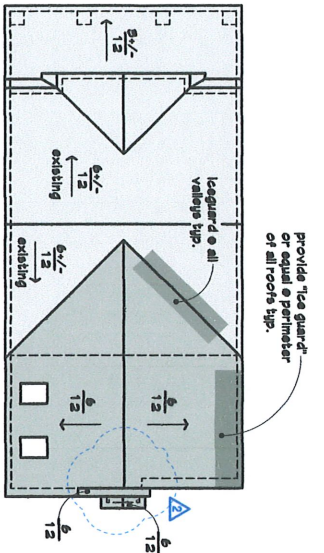
margevicius residence

1509 arthur avenue lakewood, ohio 44107

Copyright:
 This drawing is the property of Design Vision, Inc. and is not to be reproduced or used in any manner without the written consent of Design Vision, Inc. The plans are the property of Design Vision, Inc. and are not to be reproduced or used in any manner without the written consent of Design Vision, Inc. The contractor shall be responsible for the safety of the building and its component parts during construction. This includes the addition of whatever shoring, temporary bracing, underpinning, earth retention, etc. that may be necessary.

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1



schematic roof diagram

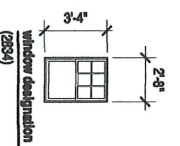
no scale

indicates existing roof

indicates new roof

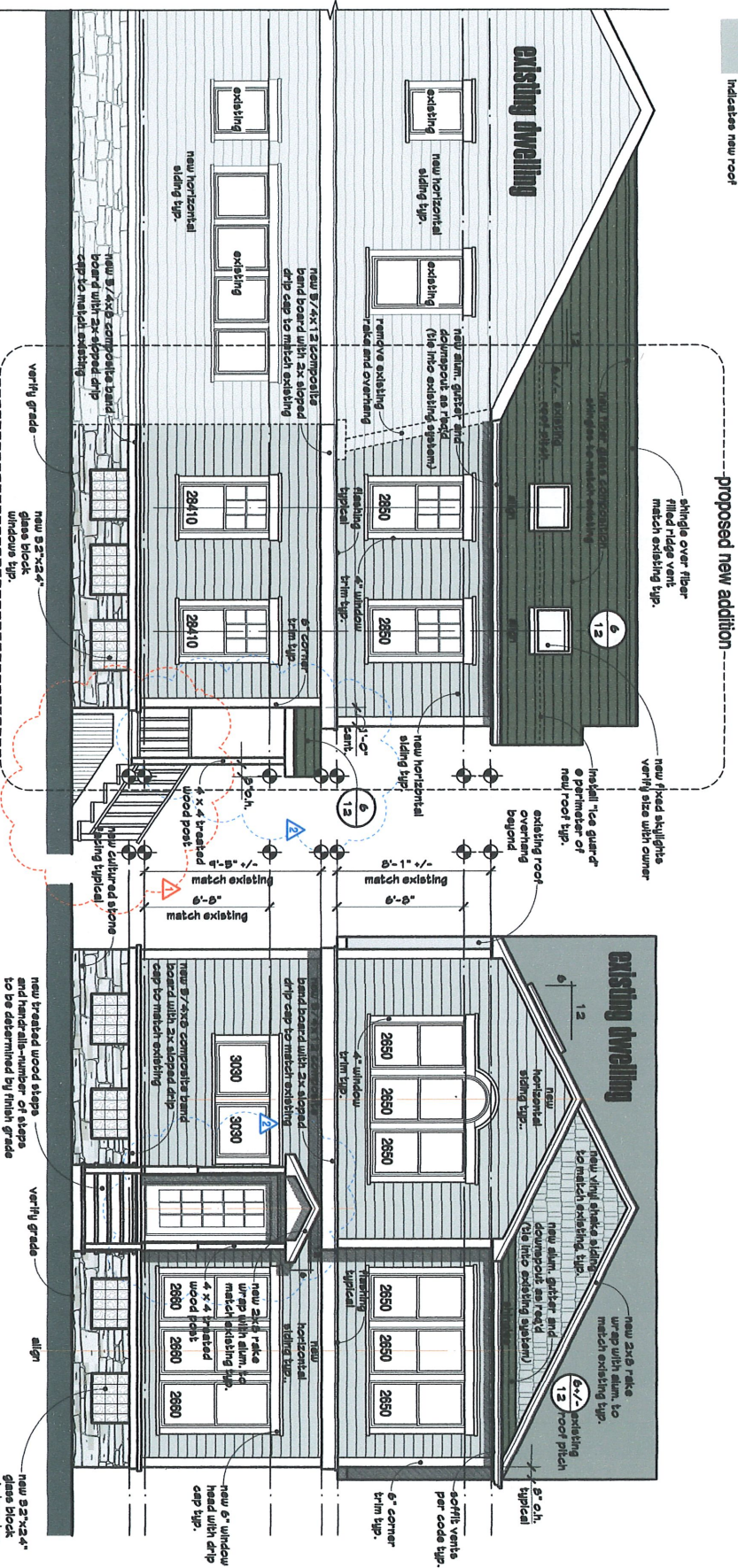


reference photographs



note

- 1) BUILDING CONTRACTOR TO VERIFY ALL MATERIALS, FINISHES AND SIZES PRIOR TO CONSTRUCTION.
- 2) WINDOW DESIGNATIONS ARE REFERENCED AS "VENTER" WINDOW NUMBERS.
- 3) PROVIDE SAFETY GLASS FOR WINDOW GLAZING < 1/4" A.F.F. OR ADJUST WINDOW SIZE TYPE.
- 4) HEAD VERIFY ALL WINDOW LOCATIONS & FINISH OPENINGS AS REQUIRED WITH WINDOW MANUFACTURERS SPECIFICATIONS.
- 5) TREATED WOOD NOTICE: ALL ANCHORS, CONNECTORS, FASTENERS ETC. MUST BE OF TREATED MATERIAL TO RESIST ROT AND INSECT DAMAGE. VERIFY WITH WINDOW MANUFACTURER FOR MATERIAL SUPPLIER FOR PROPER FASTENERS REQUIRED.



right side elevation

scale 1/4" = 1'-0"

rear elevation

scale 1/4" = 1'-0"

9



Design Vision, Inc.
4505 State Road
Cleveland, Ohio 44108
designvision.com

- Sheet 1: COVER SHEET
- Sheet 2: ELEVATIONS
- Sheet 3: FOUNDATION
- Sheet 4: FOUNDATION PLAN
- Sheet 5: MAIN FLOOR PLAN
- Sheet 6: UPPER FLOOR PLAN
- Sheet 7: SECTION
- Sheet 8: DETAILS
- Sheet 9: DISCONTINUITY NOTES

Notes:
1. Construction: See these drawings and specifications for a complete description of the work to be done. The contractor shall be responsible for obtaining all necessary permits and licenses and for complying with all applicable codes and regulations.
2. Materials: All materials shall be of the highest quality and shall be subject to inspection and approval by the architect.
3. Workmanship: All work shall be done in a workmanlike manner and shall be subject to inspection and approval by the architect.
4. Schedule: The contractor shall complete the work within the time specified in the contract.
5. Payment: The contractor shall be paid in accordance with the payment schedule specified in the contract.
6. Dispute Resolution: Any dispute arising out of or in connection with the contract shall be resolved by arbitration.

margevicius residence
1509 arthur avenue lakewood, ohio 44107

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The drawings are to be used for construction purposes only. They are not to be used for any other purpose. The drawings are the property of Design Vision, Inc. and shall remain the property of Design Vision, Inc. even if they are reproduced or otherwise used without the written consent of Design Vision, Inc.
DESIGN VISION, INC.
4505 STATE ROAD
CLEVELAND, OHIO 44108
DESIGNVISION.COM
REVISED 06/27/19

2

floor joist schedule

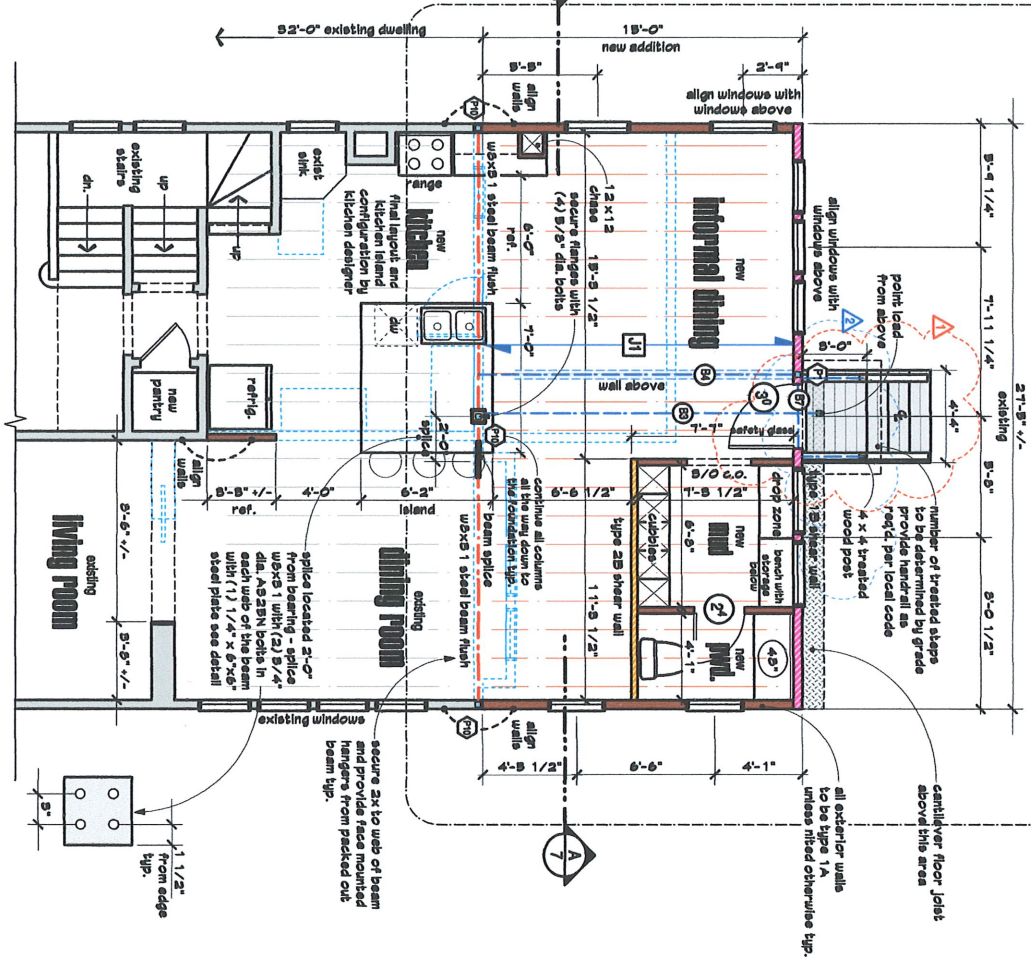
- Number Joists Douglas Fir-South OR Spruce-Pine-Fir or equal, unless noted otherwise.
- 11 2X10 floor joists @ 16" o.c. with 'x' bracing @ midspan or as required.
 - 12 2X10 floor joists @ 12" o.c. with 'x' bracing @ midspan or as required.
 - 13 2X10 floor joists @ 16" o.c. double every other joist with 'x' bracing @ midspan or as required.
 - 14 2X10 floor joists @ 16" o.c. with 'x' bracing @ midspan or as required.
 - 15 2X10 treated floor joists @ 16" o.c. with bracing @ midspan or as required.
 - 16 2X8 treated floor joists @ 16" o.c. with bracing @ midspan or as required.

post & column schedule

- 17 4x4 or (3)2x4 3 1/2" x 5 1/4" P.S.L.
- 18 4x4 3 1/2" x 7" P.S.L.
- 19 3x6 5 1/4" x 5 1/4" P.S.L.
- 20 6x6 or (4)2x6 5 1/4" x 7" P.S.L.
- 21 3 1/2" x 3 1/2" P.S.L. 3x6 dead end, steel beam column with 12" bearing plate bolted to steel beam
- 22 all header beams to mtl. (2x6s for 4" walls and (2x8s for 6" walls unless noted otherwise)
- 23 all posts to be laterally braced full length
- 24 all posts to continue down to sound foundation or solid bearing on adjacent floor
- 25 all columns (posts) to have "shimpoor" post cap and base connection
- 26 (2) 2X10s (8) 3/4" x 11 7/8" LVLs
- 27 (2) 2X10s (8) 3/4" x 11 7/8" LVLs
- 28 (2) 1 3/4" x 8 1/4" LVLs (8) 3/4" x 11 7/8" LVLs
- 29 (2) 1 3/4" x 8 1/4" LVLs (8) 3/4" x 11 7/8" LVLs
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- 80 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 81 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 82 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 83 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 84 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 85 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 86 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 87 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 88 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 89 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 90 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 91 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 92 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 93 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 94 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 95 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 96 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 97 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 98 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 99 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs
- 100 (2) 1 3/4" x 11 7/8" LVLs (8) 3/4" x 11 7/8" LVLs

wood beam schedule

proposed new addition



main floor plan

scale 1/4" = 1'-0"

410 sq. ft. addition

wall legend

- existing walls
- existing walls to be removed
- new 2x4 @ 16" o.c. wood frame walls

general plan notes

- 1) INTERIOR WOOD FRAMED WALLS ARE DIMENSIONED AT 3 1/2" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. WALLS OUTSIDE OF 1/2" SHEATHING UNLESS NOTED OTHERWISE.
- 2) BUILDING CONTRACTOR MUST VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3) ALL WALL ANGLES ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- 4) FIELD VERIFY ALL WINDOW LOCATIONS & ROUGH OPENINGS AS SHOWN ON THIS PLAN. PROVIDE WINDOW MANUFACTURER'S SPECIFICATIONS.
- 5) PROVIDE SAFETY GLASS FOR WINDOW GLAZING < 16" A.F.F. OR ADJUST WINDOW SIZE TYP.
- 6) STRUCTURAL AND FINISH MEMBERS INDICATED ARE SIZED BASED ON SPECIES OF LUMBER THAT SATISFIES THE SPWL.
- 7) BUILDER TO VERIFY THAT ALL CEILING JOISTS AND PARTER SHOWN AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING AS INDICATED.
- 8) ALL VALLEY PARTERS TO BE 12X12 MIN. PROVIDE POST UP SUPPORTS FROM SOUND BEARINGS OR TRIPLE CEILING JOISTS MINIMUM.
- 9) CEILING JOIST NOTICE: APPLY 1/2" PLYWOOD TO TOP SIDE OF CEILING JOIST 1/2" FROM END WHEN CEILING JOISTS RUN PARALLEL TO 1/2" PARTER BEARING WALL. NOTCH ON PARTERS AS REQUIRED.
- 10) TREATED WOOD NOTES: ALL ANCHORS, CONNECTORS, FASTENERS ETC. MUST BE OF SUITABLE MATERIAL TO RESIST FASTENING OR CORROSION WITH THE TREATED LUMBER. CONSULT WITH LUMBER SUPPLIER OR MATERIAL SUPPLIER FOR PROPER FASTENERS REQUIRED.

shear wall schedule

- WALL TYPE 1A - TYPICAL EXTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS:
- ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS APA SHEATHING 32/16 @ 16" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS WITH INTERIOR WALL NAILS 1 1/2" LONG STAPLES GALVANIZED OR 1 1/4" LONG TYPE W OR S SCREWS AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CAPACITY = 816 PLF
- WALL TYPE 2A - TYPICAL INTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS:
- INTERIOR SHEAR WALLS AS INDICATED ON PLAN SHALL HAVE 1/2" GYPSUM BOARD WITH 8D X 1 1/4" GALVANIZED NAILS OR NO. 8 X 1 1/4" LONG INTERMEDIATE SUPPORTS OR 5/8" GYPSUM BOARD WITH 8D X 1 1/4" GALVANIZED NAILS OR NO. 8 X 1 1/4" LONG TYPE W OR S SCREWS AT 4" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
- WALL TYPE 2B - TYPICAL INTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS:
- 2x4 V BASE PLY - 5/8" GYPSUM BOARD WITH 8D X 1 1/4" GALVANIZED NAILS OR NO. 8 X 1 1/4" LONG TYPE W OR S SCREWS AT 4" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

margevicius residence

1509 arthur avenue lakewood, ohio 44107



Design Vision, Inc.
4593 Shaw Road
Cleveland, Ohio 44116
440-795-2000
designvision.com

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795

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general plan notes

1. INTERIOR WOOD FINISHED WALLS ARE DIMENSIONED 1 1/2" IF FINISHED WALLS ARE DIMENSIONED TO THE OUTSIDE OF 1/2" SHEATHING UNLESS OTHERWISE NOTED.
2. BUILDING CONTRACTOR MUST VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL WALL ANGLES ARE 45 DEGREES UNLESS OTHERWISE NOTED.
4. FIELD VERIFY ALL WINDOW LOCATIONS & ROUGH OPENINGS AS REQUIRED WITH WINDOW MANUFACTURERS SPECIFICATIONS.
5. PROVIDE SAFETY GLASS FOR WINDOW GLAZING < 16" A.F.F. OR ADJUST WINDOW SIZE TYPE.
6. STRUCTURAL AND FRAMING MEMBERS INDICATED ARE SIZED BASED ON SPECIES OF LUMBER THAT SATISFY THE SPWL.
7. BUILDERS TO VERIFY THAT ALL CEILING JOISTS AND RAFTER BRACES ARE ON LOAD BEARING WALLS & WOOD JOISTS ALL ARE SHOWN AND TERMINATE AT FOUNDATION AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING AS INDICATED.
8. ALL WALLS NOTED OTHERWISE, ALL NON-STRUCTURAL ROOF ROADS TO BE (2X12) MIN. ALL RAFTERS TO BE (2X12) MIN. ALL VALLEY RAFTERS TO BE (2X12) MIN. PROVIDE PAST UP ROADS FROM ROOF DOWN BEHINDS ON TRIPLE CEILING JOISTS MINIMUM.
9. CEILING JOIST NOTICES: APPLY 1/2" PLWOOD TO TOP OF CEILING JOIST. 1/2" PLWOOD TO BOTTOM OF CEILING JOIST. IN PARALLEL TO A RAFTER BEARING WALL. NOTCH FOR RAFTERS AS REQUIRED.
10. TREATED WOOD NOTICE: ALL ANCHORS, CONNECTORS, FASTENERS ETC. MUST BE OF SUITABLE MATERIAL TO RESIST REACTION OR CORROSION WITH THE TREATED LUMBER. CONSULT FASTENER REQUIRED.

rafter/ceiling joist schedule

Unless Noted Otherwise: Apply 1/2" PLWOOD TO TOP OF CEILING JOIST. 1/2" PLWOOD TO BOTTOM OF CEILING JOIST. IN PARALLEL TO A RAFTER BEARING WALL. NOTCH FOR RAFTERS AS REQUIRED.

R1	2X10 rafters @ 16" o.c.
R2	2X6 rafters @ 16" o.c.
R3	2X6 rafters @ 16" o.c.
R4	2X12 rafters @ 16" o.c.
R5	2X12 ceiling joists @ 16" o.c.
R6	2X12 ceiling joists @ 16" o.c.
R7	2X10 ceiling joists @ 16" o.c.
R8	2X10 ceiling joists @ 16" o.c.
R9	2X6 ceiling joists @ 16" o.c.
R10	2X6 ceiling joists @ 16" o.c.

shear wall schedule

WALL TYPE 1A - TYPICAL EXTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS:

ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS APA SHEATHING 2X16 @ 12" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS WITH INTERIOR BRIVALL FINISH COMPOSED OF 1/2" MINIMUM GYPSUM BOARD WITH 1 1/2" GALVANIZED ROOFING WALLS. 1 1/2" LONG STUDS GALVANIZED ON 1 1/2" LONG TYPE W OR S SCREENS AT 7' O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CAPACITY = 800 LF.

WALL TYPE 1B - TYPICAL EXTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS:

CONTINUOUS APA SHEATHING 2X16 @ 12" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS WITH INTERIOR BRIVALL FINISH COMPOSED OF 1/2" MINIMUM GYPSUM BOARD WITH 1 1/2" GALVANIZED ROOFING WALLS. 1 1/2" LONG STUDS GALVANIZED ON 1 1/2" LONG TYPE W OR S SCREENS AT 7' O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CAPACITY = 800 LF.

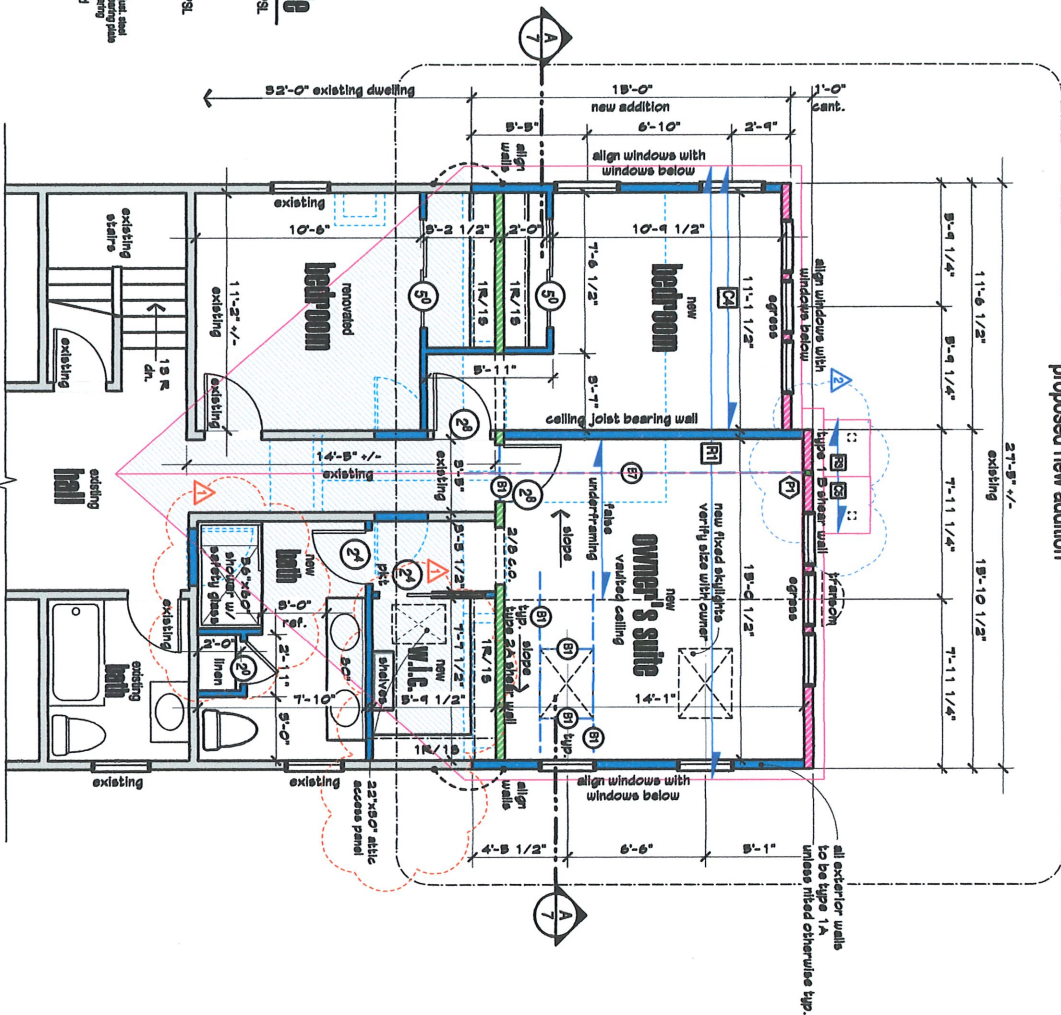
WALL TYPE 2A - TYPICAL INTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS:

INTERIOR SHEAR WALLS AS INDICATED ON PLAN SHALL HAVE 12" GYPSUM BOARD WITH 1 1/2" GALVANIZED WALLS OR NO. 3 X 1 1/2" LONG TYPE W OR S SCREENS AT 7' O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS OR 36" GYPSUM BOARD WITH NO. 3 X 1 1/2" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CAPACITY = 800 LF.

WALL TYPE 2B - TYPICAL INTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS:

2X4 BASE PLV. 56" GYPSUM BOARD WITH NO. 3 X 1 1/2" GALVANIZED WALLS OR NO. 3 X 1 1/2" LONG TYPE W OR S SCREENS AT 7' O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS OR 36" GYPSUM BOARD WITH NO. 3 X 1 1/2" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CAPACITY = 800 LF.

proposed new addition



post & column schedule

P1	4x4 (3)2x4	P2	3 1/2" x 5 1/4" PSL
P3	4x4 (3)2x4	P4	3 1/2" x 7" PSL
P5	4x4 (3)2x4	P6	5 1/4" x 5 1/4" PSL
P7	4x4 (3)2x4	P8	5 1/4" x 7" PSL
P9	4x4 (3)2x4	P10	3 1/2" x 3 1/2" PSL
P11	4x4 (3)2x4	P12	3 1/2" x 3 1/2" PSL
P13	4x4 (3)2x4	P14	3 1/2" x 3 1/2" PSL
P15	4x4 (3)2x4	P16	3 1/2" x 3 1/2" PSL
P17	4x4 (3)2x4	P18	3 1/2" x 3 1/2" PSL
P19	4x4 (3)2x4	P20	3 1/2" x 3 1/2" PSL
P21	4x4 (3)2x4	P22	3 1/2" x 3 1/2" PSL
P23	4x4 (3)2x4	P24	3 1/2" x 3 1/2" PSL
P25	4x4 (3)2x4	P26	3 1/2" x 3 1/2" PSL
P27	4x4 (3)2x4	P28	3 1/2" x 3 1/2" PSL
P29	4x4 (3)2x4	P30	3 1/2" x 3 1/2" PSL
P31	4x4 (3)2x4	P32	3 1/2" x 3 1/2" PSL
P33	4x4 (3)2x4	P34	3 1/2" x 3 1/2" PSL
P35	4x4 (3)2x4	P36	3 1/2" x 3 1/2" PSL
P37	4x4 (3)2x4	P38	3 1/2" x 3 1/2" PSL
P39	4x4 (3)2x4	P40	3 1/2" x 3 1/2" PSL
P41	4x4 (3)2x4	P42	3 1/2" x 3 1/2" PSL
P43	4x4 (3)2x4	P44	3 1/2" x 3 1/2" PSL
P45	4x4 (3)2x4	P46	3 1/2" x 3 1/2" PSL
P47	4x4 (3)2x4	P48	3 1/2" x 3 1/2" PSL
P49	4x4 (3)2x4	P50	3 1/2" x 3 1/2" PSL
P51	4x4 (3)2x4	P52	3 1/2" x 3 1/2" PSL
P53	4x4 (3)2x4	P54	3 1/2" x 3 1/2" PSL
P55	4x4 (3)2x4	P56	3 1/2" x 3 1/2" PSL
P57	4x4 (3)2x4	P58	3 1/2" x 3 1/2" PSL
P59	4x4 (3)2x4	P60	3 1/2" x 3 1/2" PSL
P61	4x4 (3)2x4	P62	3 1/2" x 3 1/2" PSL
P63	4x4 (3)2x4	P64	3 1/2" x 3 1/2" PSL
P65	4x4 (3)2x4	P66	3 1/2" x 3 1/2" PSL
P67	4x4 (3)2x4	P68	3 1/2" x 3 1/2" PSL
P69	4x4 (3)2x4	P70	3 1/2" x 3 1/2" PSL
P71	4x4 (3)2x4	P72	3 1/2" x 3 1/2" PSL
P73	4x4 (3)2x4	P74	3 1/2" x 3 1/2" PSL
P75	4x4 (3)2x4	P76	3 1/2" x 3 1/2" PSL
P77	4x4 (3)2x4	P78	3 1/2" x 3 1/2" PSL
P79	4x4 (3)2x4	P80	3 1/2" x 3 1/2" PSL
P81	4x4 (3)2x4	P82	3 1/2" x 3 1/2" PSL
P83	4x4 (3)2x4	P84	3 1/2" x 3 1/2" PSL
P85	4x4 (3)2x4	P86	3 1/2" x 3 1/2" PSL
P87	4x4 (3)2x4	P88	3 1/2" x 3 1/2" PSL
P89	4x4 (3)2x4	P90	3 1/2" x 3 1/2" PSL
P91	4x4 (3)2x4	P92	3 1/2" x 3 1/2" PSL
P93	4x4 (3)2x4	P94	3 1/2" x 3 1/2" PSL
P95	4x4 (3)2x4	P96	3 1/2" x 3 1/2" PSL
P97	4x4 (3)2x4	P98	3 1/2" x 3 1/2" PSL
P99	4x4 (3)2x4	P100	3 1/2" x 3 1/2" PSL

wood beam schedule

B1	2X10's	B2	1 3/4" x 11 7/8" LVL's
B3	2X10's	B4	1 3/4" x 11 7/8" LVL's
B5	2X10's	B6	1 3/4" x 11 7/8" LVL's
B7	2X10's	B8	1 3/4" x 11 7/8" LVL's
B9	2X10's	B10	1 3/4" x 11 7/8" LVL's
B11	2X10's	B12	1 3/4" x 11 7/8" LVL's
B13	2X10's	B14	1 3/4" x 11 7/8" LVL's
B15	2X10's	B16	1 3/4" x 11 7/8" LVL's
B17	2X10's	B18	1 3/4" x 11 7/8" LVL's
B19	2X10's	B20	1 3/4" x 11 7/8" LVL's
B21	2X10's	B22	1 3/4" x 11 7/8" LVL's
B23	2X10's	B24	1 3/4" x 11 7/8" LVL's
B25	2X10's	B26	1 3/4" x 11 7/8" LVL's
B27	2X10's	B28	1 3/4" x 11 7/8" LVL's
B29	2X10's	B30	1 3/4" x 11 7/8" LVL's
B31	2X10's	B32	1 3/4" x 11 7/8" LVL's
B33	2X10's	B34	1 3/4" x 11 7/8" LVL's
B35	2X10's	B36	1 3/4" x 11 7/8" LVL's
B37	2X10's	B38	1 3/4" x 11 7/8" LVL's
B39	2X10's	B40	1 3/4" x 11 7/8" LVL's
B41	2X10's	B42	1 3/4" x 11 7/8" LVL's
B43	2X10's	B44	1 3/4" x 11 7/8" LVL's
B45	2X10's	B46	1 3/4" x 11 7/8" LVL's
B47	2X10's	B48	1 3/4" x 11 7/8" LVL's
B49	2X10's	B50	1 3/4" x 11 7/8" LVL's
B51	2X10's	B52	1 3/4" x 11 7/8" LVL's
B53	2X10's	B54	1 3/4" x 11 7/8" LVL's
B55	2X10's	B56	1 3/4" x 11 7/8" LVL's
B57	2X10's	B58	1 3/4" x 11 7/8" LVL's
B59	2X10's	B60	1 3/4" x 11 7/8" LVL's
B61	2X10's	B62	1 3/4" x 11 7/8" LVL's
B63	2X10's	B64	1 3/4" x 11 7/8" LVL's
B65	2X10's	B66	1 3/4" x 11 7/8" LVL's
B67	2X10's	B68	1 3/4" x 11 7/8" LVL's
B69	2X10's	B70	1 3/4" x 11 7/8" LVL's
B71	2X10's	B72	1 3/4" x 11 7/8" LVL's
B73	2X10's	B74	1 3/4" x 11 7/8" LVL's
B75	2X10's	B76	1 3/4" x 11 7/8" LVL's
B77	2X10's	B78	1 3/4" x 11 7/8" LVL's
B79	2X10's	B80	1 3/4" x 11 7/8" LVL's
B81	2X10's	B82	1 3/4" x 11 7/8" LVL's
B83	2X10's	B84	1 3/4" x 11 7/8" LVL's
B85	2X10's	B86	1 3/4" x 11 7/8" LVL's
B87	2X10's	B88	1 3/4" x 11 7/8" LVL's
B89	2X10's	B90	1 3/4" x 11 7/8" LVL's
B91	2X10's	B92	1 3/4" x 11 7/8" LVL's
B93	2X10's	B94	1 3/4" x 11 7/8" LVL's
B95	2X10's	B96	1 3/4" x 11 7/8" LVL's
B97	2X10's	B98	1 3/4" x 11 7/8" LVL's
B99	2X10's	B100	1 3/4" x 11 7/8" LVL's

upper floor plan

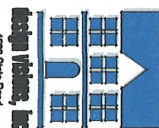
Scale 1/4" = 1'-0"

410 sq. ft. addition

wall legend

existing walls	existing walls to be removed
new 2x4 @ 16" o.c. wood frame walls	

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4503 State Road
Channahon, Ohio 44109
design@vision.com

Sheet 1	COVER SHEET
Sheet 2	FOUNDATIONS
Sheet 3	FOUNDATION PLAN
Sheet 4	FOUNDATION PLAN
Sheet 5	MAIN FLOOR PLAN
Sheet 6	UPPER FLOOR PLAN
Sheet 7	SECTION
Sheet 8	DETAILS
Sheet 9	DETAILS

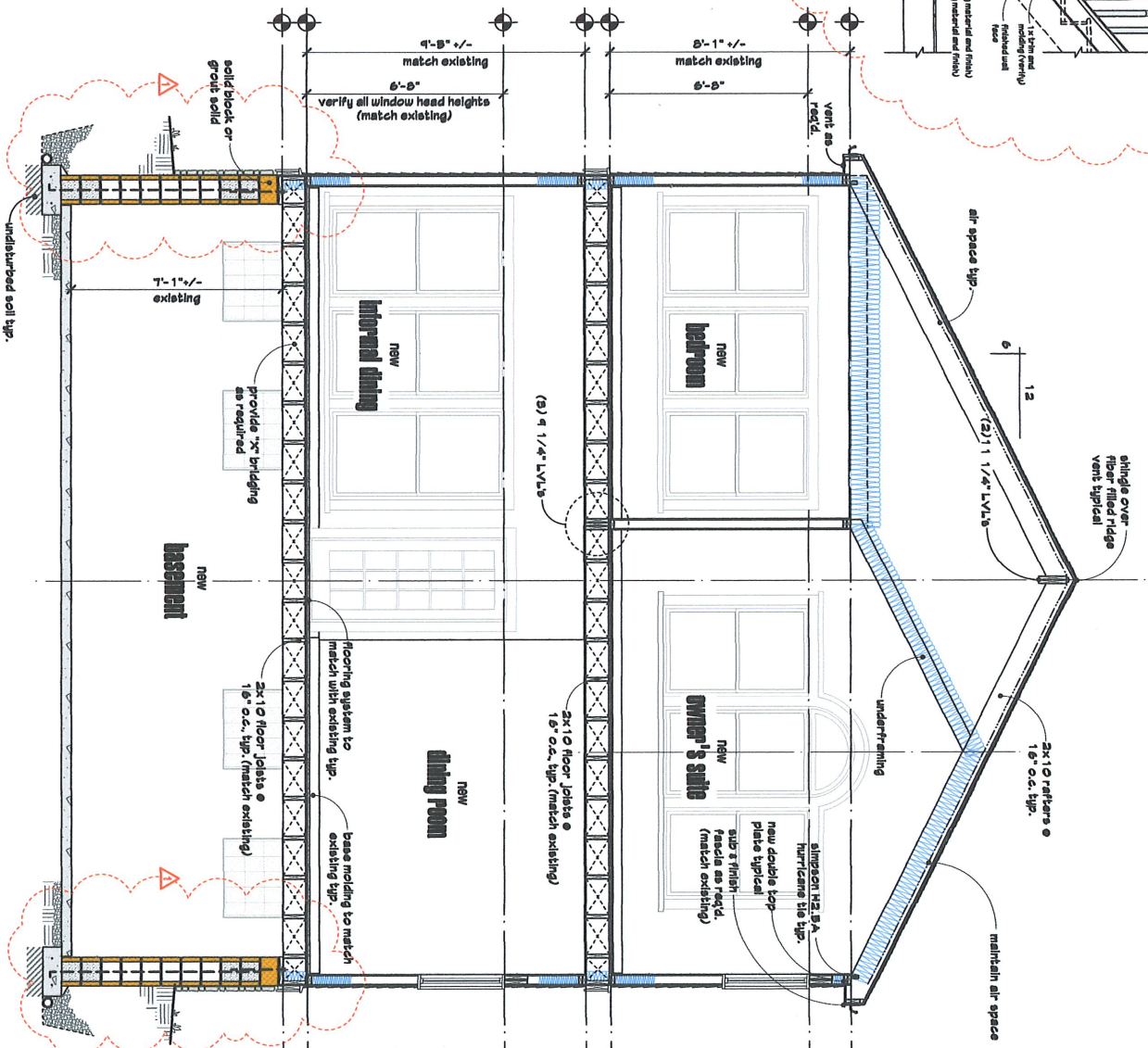
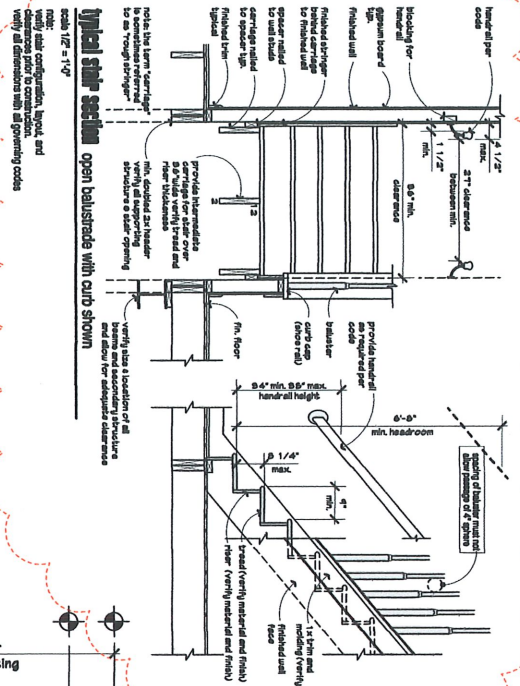
Notes:
1. See notes on sheet 1 for general construction requirements.
2. See notes on sheet 2 for foundation construction requirements.
3. See notes on sheet 3 for main floor construction requirements.
4. See notes on sheet 4 for upper floor construction requirements.
5. See notes on sheet 5 for section construction requirements.
6. See notes on sheet 6 for detail construction requirements.
7. See notes on sheet 7 for detail construction requirements.
8. See notes on sheet 8 for detail construction requirements.
9. See notes on sheet 9 for detail construction requirements.

margevicius residence
1509 arthur avenue lakewood, ohio 44107

Sheet 1	COVER SHEET
Sheet 2	FOUNDATIONS
Sheet 3	FOUNDATION PLAN
Sheet 4	FOUNDATION PLAN
Sheet 5	MAIN FLOOR PLAN
Sheet 6	UPPER FLOOR PLAN
Sheet 7	SECTION
Sheet 8	DETAILS
Sheet 9	DETAILS

795

6



A-A
dimensional section
scale 3/8\" = 1'-0"

14

Design Vision, Inc.
4505 State Road
Cincinnati, Ohio 45216
440-756-2000
design@vision.com

Sheet 1 cover sheet	Sheet 2 foundation	Sheet 3 exterior walls	Sheet 4 interior walls	Sheet 5 upper floor plan	Sheet 6 details	Sheet 7 section	Sheet 8 details	Sheet 9 elevation plan
---------------------	--------------------	------------------------	------------------------	--------------------------	-----------------	-----------------	-----------------	------------------------

Notes:
1. Construction per these plans and specifications shall be in accordance with the Ohio Building Code and all applicable codes and standards.
2. The contractor shall be responsible for obtaining all necessary permits and approvals.
3. The contractor shall be responsible for ensuring that all work is completed in accordance with the plans and specifications.
4. The contractor shall be responsible for ensuring that all work is completed in accordance with the plans and specifications.
5. The contractor shall be responsible for ensuring that all work is completed in accordance with the plans and specifications.

margevicius residence
1509 arthur avenue lakewood, ohio 44107

Copyright:
The owner of this plan is to be held by a registered professional engineer and architect, Design Vision, Inc. The owner of this plan is to be held by a registered professional engineer and architect, Design Vision, Inc. The owner of this plan is to be held by a registered professional engineer and architect, Design Vision, Inc.

DESIGNER	DESIGN REVIEW	DATE	PROJECT
DESIGNER	DESIGN REVIEW	DATE	PROJECT
DESIGNER	DESIGN REVIEW	DATE	PROJECT
DESIGNER	DESIGN REVIEW	DATE	PROJECT

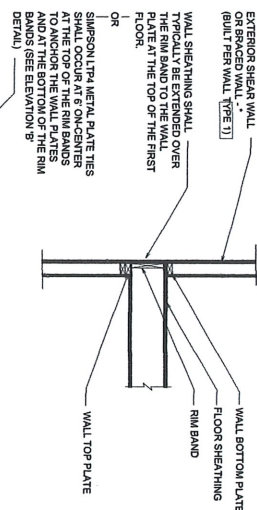
1509 ARTHUR AVENUE
LAKESIDE, OHIO 44107
PROJECT NO. 0123456789

795

7

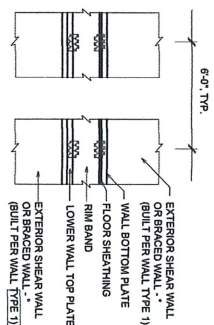
- sheet 1 cover sheet
- sheet 2 elevations
- sheet 3 elevations
- sheet 4 foundation plan
- sheet 5 main floor plan
- sheet 6 upper floor plan
- sheet 7 section
- sheet 8 details
- sheet 9 electromech plans

Occasionally, even these plans must be in strict compliance with applicable local state and federal building codes and regulations. All dimensions and site conditions must be verified prior to commencement of construction. Design Vision, Inc. does not assume any liability for errors or omissions on this plan, unless advised in writing of such errors or omissions prior to commencement of construction.



**EXTERIOR SHEAR WALL
CONNECTION TO ROOF FRAMING**
1/2"=1'-0"

EXTERIOR SHEAR WALL CONNECTION TO SILL PLATE ON FOUNDATION



THIS DETAIL IS AN ALTERNATE FOR SHEATHING THAT IS NOT EXTEND OVER RIM BANDS TO WALL PLATE

ELEVATION 'B' DETAIL

$1/2" = 1'-0"$

**EXTERIOR SHEAR WALL CONNECTION
AT FLOOR TO FLOOR FRAMING**

WILL TYPE 1A - TYPICAL EXTENSION SHEAR WALL CONSTRUCTION REQUIREMENTS

ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS APA RIGIDATING STRIPS 1/2" 12" OC AT INTERMEDIATE SUPPORTS WITH INTERIOR BRICK WALL FINISH COMPRISED OF 1/2" LONG STRIPS GALVANIZED WITH 1/2" GALVANIZED ROCKING NAILS 1/2" LONG STRIPS GALVANIZED ON 1/4" LONG TYPE 8 SCREWS

A17 O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

WILL TYPE 1B - TYPICAL EXTENSION SHEAR WALL CONSTRUCTION REQUIREMENTS

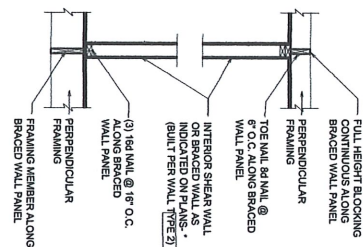
CONTINUOUS STEELING SHALL BE USED ON ALL EXPOSED SURFACES WITH NO COLLARS ALLOWED AT 2' O.C. AT EBBES AND 2' O.C. AT INTERMEDIATE SUPPORTS WITH INTERIOR DRIVALL WALLS. 1 1/2" DRILL STUDS SPACED ON 1 1/2" LONG BY 12" LONG SHALL BE USED AT EBBES AND 2' O.C. AT INTERMEDIATE SUPPORTS. CATCH = 315°F

WALL TYPE 2B - TYPICAL INTERIOR SHEAR WALL CONSTRUCTION REQUIREMENTS.

2-PLY BASE P.L. - 58" GIPSUM BOARD WITH 8D X 17/8" GALVANIZED NAILS OR NO. 6 X 1 1/4" LONG TYPE OR 3 SCREWS AT 9" OC AT EDGES AND 12" OC. AT INTERMEDIATE SUPPORTS
FACE P.L. - 58" GIPSUM BOARD WITH 8D X 2 3/8" GALVANIZED NAILS AT 7" OC. AT EDGES
AND 12" OC. AT INTERMEDIATE SUPPORTS. CAPACITY = 800 P.L.F.

DESIGN LOADING FOR BRACED WALLS

WIND..... 90 MPH, CATEGORY EXP. 1

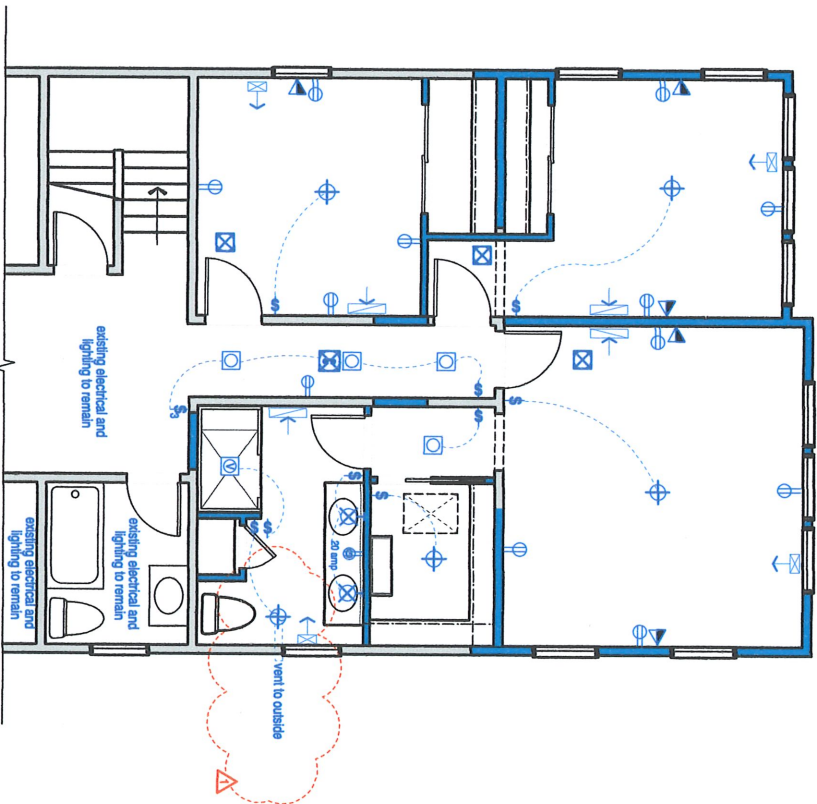


symbol legend

4503 Shale Road
Cleveland, Ohio 44109
440-735-2800
designvisions.com

sheet 4 foundation plan
sheet 5 main floor plan
sheet 6 upper floor plan
sheet 7 section
sheet 8 details
sheet 9 electromech plans

on in strict compliance with all applicable local, state, and federal building codes and regulations. All dimensions and tolerances must be verified prior to commencement of construction. Design Village, Inc. does not assume any liability for errors or omissions.



upper floor electrical/mechanical schematic



Account: 101-0000-321. 30-02

REFERENCE No. BZA 19-000009

APPLICATION

DOCKET No. 07-16-19

FEE PAID _____

BOARD OF ZONING APPEALS

Property Address 1455 Northland Ave Property Owner Name Morgan T Bishop

Owner Phone 216-367-2286 Owner Address 1455 Northland Ave

Zoning R2 Parcel Number 313-22-123

Description of Request/Hardship We purchased the property in 2018 using a rehab loan. A portion of the rehab funds were to be used to replace the collapsed and sinking rear porch with a new rear porch. The new porch will have an unroofed 2nd story deck that leads to a rear bedroom, similar to the original porch. We are seeking an exeption to Lakewood ordinance 1123.03(d) which prohibits an unroofed patio deck exceding first floor elevation.

APPLICATION FEE: \$25 Residential - \$50 Commercial.

Incomplete or Late Applications will not be Accepted.

(See calendar on page 2 for deadlines)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11).
3. Photos of the existing conditions.
4. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11).
5. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form).
6. Fee.

Applicant Name (Print Clearly): Morgan Bishop Company _____

Applicant Address: 1455 Northland Ave

Phone: 216-367-3386 Fax: _____ E-mail: _____

Signature:  Date: 07/1/2019

Owner Signature (if different from Applicant): _____

By signing I, the Owner of Property, hereby grant authority for the above applicant to represent my interest in this matter.

OFFICE USE ONLY: Application Reviewed and Accepted by:  Date: 7-3-2019

File History: _____

Bldg. Dept. Remarks: _____

ORD.

SECTION

91-95

1123.03(d)

18


AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? X Yes _____ No

Please Print or Type:

Owner/Agent Name: Morgan T. Bishop
Property Address: 1455 Northland Ave
Owner/Agent Phone: 216-367-2286
Tenant Name _____ Tenant Phone _____


Owner/Agent Signature

2019 Calendar Board of Zoning Appeals

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
January	Wednesday	01-02-19	Thursday	01-17-19	Thursday	01-17-19
February	Wednesday	02-06-19	Thursday	02-21-19	Thursday	02-21-19
March	Wednesday	03-06-19	Thursday	03-21-19	Thursday	03-21-19
April	Wednesday	04-03-19	Thursday	04-18-19	Thursday	04-18-19
May	Wednesday	05-01-19	Thursday	05-16-19	Thursday	05-16-19
June	Wednesday	06-05-19	Thursday	06-20-19	Thursday	06-20-19
July	Wednesday	07-03-19	Thursday	07-18-19	Thursday	07-18-19
August	Wednesday	07-31-19	Thursday	08-15-19	Thursday	08-15-19
September	Wednesday	09-04-19	Thursday	09-19-19	Thursday	09-19-19
October	Wednesday	10-02-19	Thursday	10-17-19	Thursday	10-17-19
November	Wednesday	11-06-19	Thursday	11-21-19	Thursday	11-21-19
December	Wednesday	12-04-19	Thursday	12-19-19	Thursday	12-19-19
January	Wednesday	12-31-20	Thursday	01-16-20	Thursday	01-16-20

PLEASE NOTE: Applications are submitted to the Department of Planning and Development and are due before **noon** on the above indicated dates. It is recommended to submit them **prior** to the application deadline for review of completeness. **Late or incomplete applications cannot be accepted.**

Pre-Review Meetings start at **6:00 P.M.** in the **East Conference Room** (adjacent to the auditorium) of Lakewood City Hall. Use the rear northeast entrance to the Auditorium.

Review Meetings will commence at 6:30 P.M. in the **Auditorium** of Lakewood City Hall located at 12650 Detroit Avenue unless otherwise indicated. You (or representative as designated in writing to the Secretary of the Board) **MUST** attend the review meeting in order for an application to receive review. Use the rear northeast entrance to the Auditorium.

EXHIBIT A
SUMMARY POINTS OF VARIANCES IN LAKEWOOD BOARD OF ZONING APPEALS MEETING
FOR A VARIANCE TO BE GRANTED,

The Practical Difficulty test requires that the Board **consider and weigh** the following factors:

- (1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district;
- (2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;
- (3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);
- (4) Whether the variance(s) is substantial;
- (5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);
- (6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);
- (7) Whether the property owner purchased the property with knowledge of the zoning restriction;
- (8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and
- (9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

This Board is composed of volunteer citizens serving without financial compensation. The Charter and Ordinances of the City of Lakewood set the Board's power. All interested persons may take notice that all documents included with an application for the Board, or any application addenda, statements, maps, diagrams, sketches, photographs, or other materials, Proffered to the board by any person (whether present at the hearing, or not), shall be considered by the Board prior to rendering its decision on the application. No permits shall be issued unless submitted plans conform to those approved by the Board. In the event a deviation or modification exists between the approved plans and any plans subsequently submitted to the city, other than a minor or insignificant deviation as determined by the Commissioner, a successive variance request must be filed and heard to address said deviation.



NEW 10'x6' DECK STRUCTURAL SET FOR:

MORGAN BISHOP
(216) 367-2286

SITE: 1455 NORTHLAND AVE.
LAKEWOOD, OH 44107

SHEET LIST INDEX:

- C-1 TITLE PAGE, INDEX, LOCATION MAP
- A-1 SITE PLAN
- S-1 STRUCTURAL PLAN
- S-2 ELEVATIONS & DETAILS

SCOPE OF WORK:

NEW 10'x6' WOOD DECK
TOTAL AREA: 60sf

BUILDING CODE & ZONING ORDINANCES:

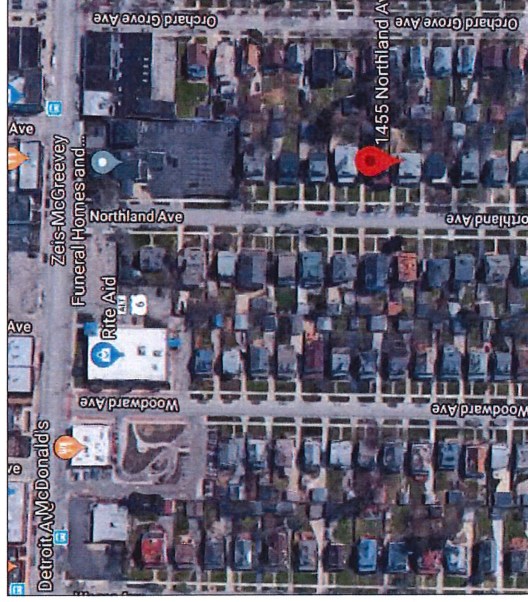
- EXECUTE ALL WORK IN ACCORDANCE WITH LOCAL AND FEDERAL CODES, MANUFACTURERS, RECOMMENDATIONS, TRADE AND REFERENCE STANDARDS
- THIS PLAN IS TO COMPLY WITH THE FOLLOWING GOVERNING AUTHORITIES:
 - A. OHIO BUILDING CODE LATEST EDITION
 - B. HOME OWNERS REQUIREMENTS

DESIGN CRITERIA:

SOIL BEARING: 1500 psf
SNOW LOAD: 30 psf
FLOOR LIVE LOAD: 40 psf
FLOOR DEAD LOAD: 10 psf
FLOOR DEFLECTION: L/360

STRUCTURAL NOTES

- CONTRACTOR TO FOLLOW LATEST EDITION OF OHIO BUILDING CODE (OBC)
- CONCRETE COMPRESSIVE STRENGTH 4,000 PSI
- NEW DECK FOOTING TO BE BUILT ON UNDISTURBED SOIL. CONTRACTOR TO FIELD VERIFY
- CONTRACTOR TO FIELD VERIFY ALL EXISTING AND NEW CONDITIONS
- ALL WOOD TO BE PRESSURE TREATED, MINIMUM #1/#2 SPF OR SYP UNLESS OTHERWISE STATED
- CONTACT ENGINEER OF RECORD WITH ANY QUESTIONS, CONCERNS, OR RFI'S



SITE LOCATION
SCALE: N.T.S.

TITLE SHEET

CRAMER ENGINEERING
JAMES@CRAMERENGINEERING.COM
JAMES CRAMER, P.E. 440-655-1348

C-1

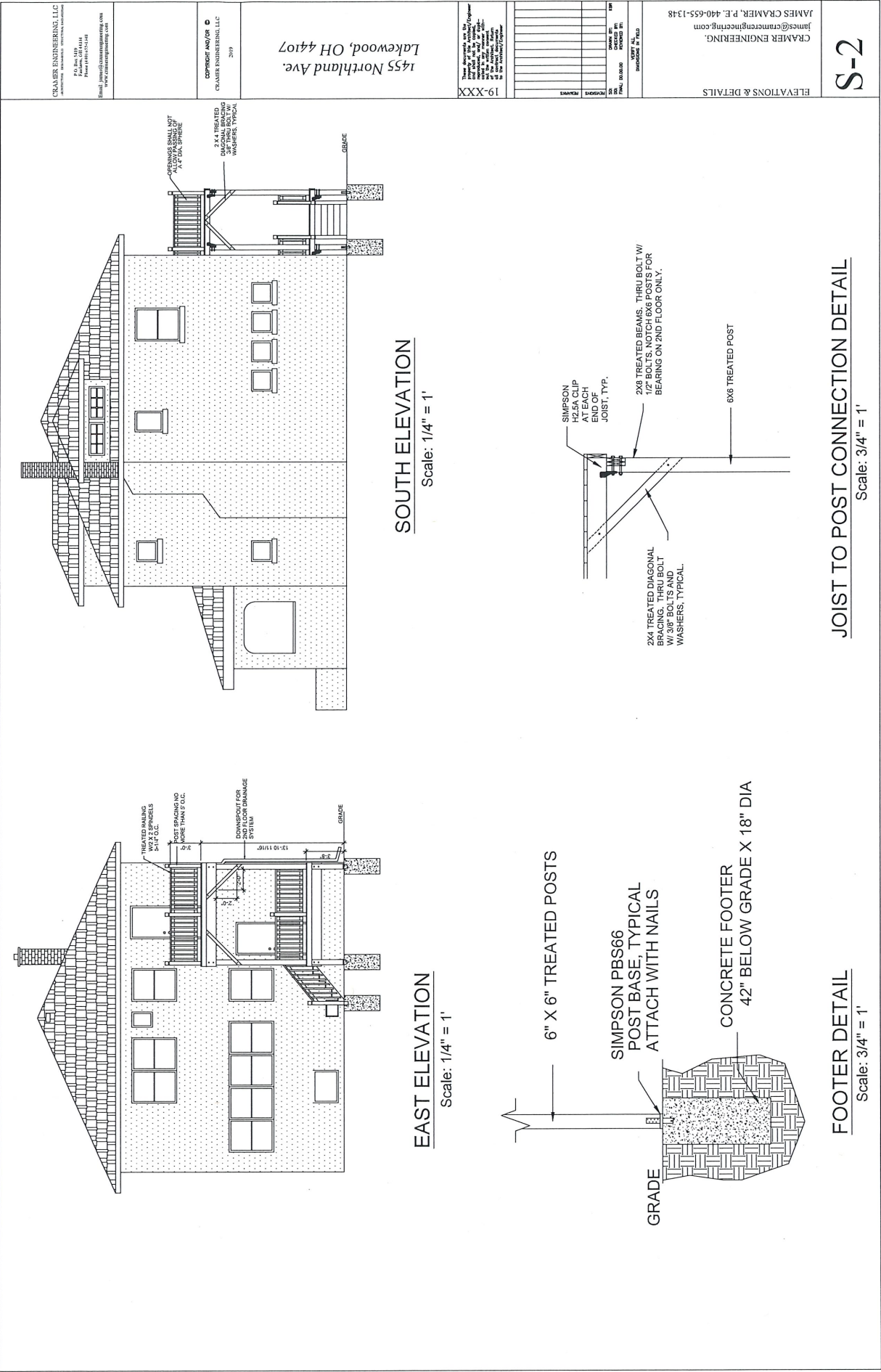
COPYRIGHT AND/OR
CRAMER ENGINEERING, LLC
2019

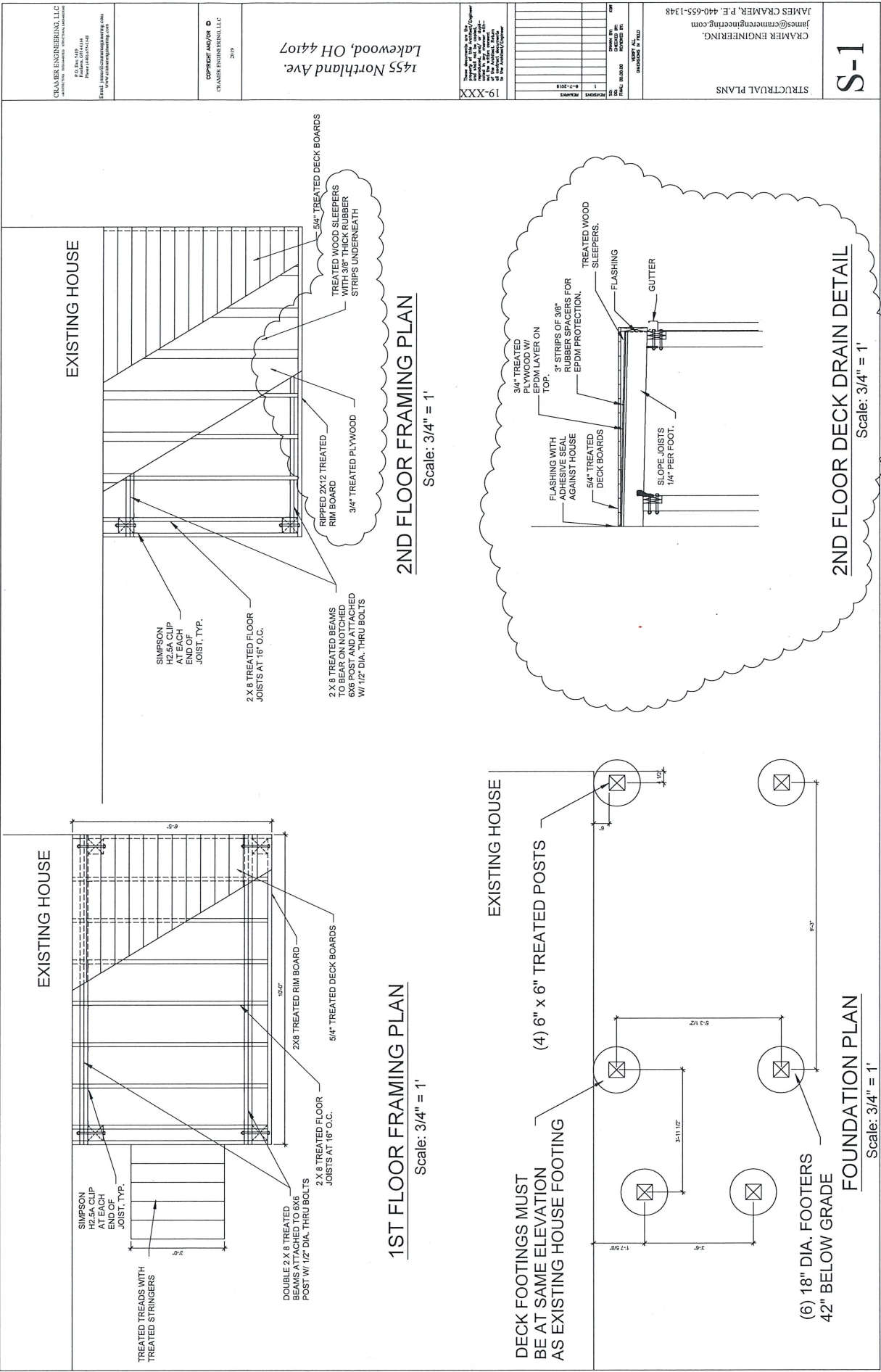
1455 Northland Ave.
Lakewood, OH 44107

19-XXX
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NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08/01/2019
2	REVISED BY	08/01/2019
3	REVISION	08/01/2019
4	REVISION	08/01/2019
5	REVISION	08/01/2019
6	REVISION	08/01/2019
7	REVISION	08/01/2019
8	REVISION	08/01/2019
9	REVISION	08/01/2019
10	REVISION	08/01/2019
11	REVISION	08/01/2019
12	REVISION	08/01/2019
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18	REVISION	08/01/2019
19	REVISION	08/01/2019
20	REVISION	08/01/2019

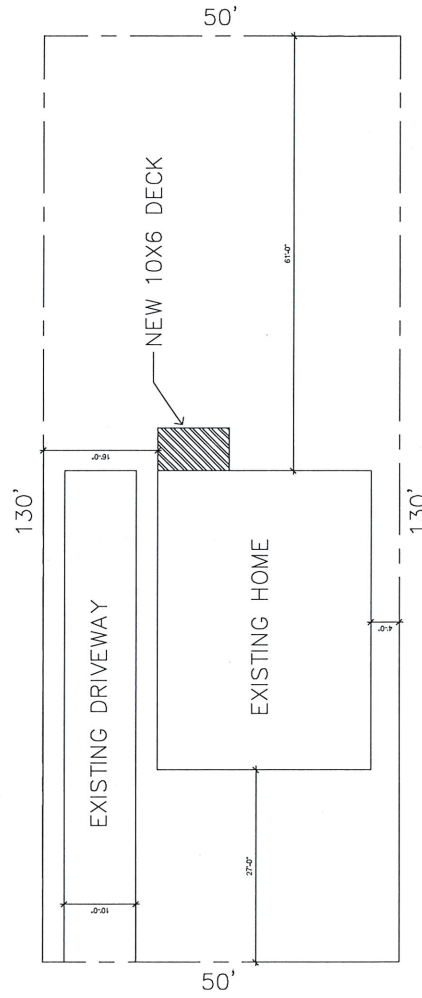
CRAMER ENGINEERING, LLC
1455 Northland Ave.
Lakewood, OH 44107
Phone: (440) 655-1348
Email: james@cramerengineering.com
www.cramerengineering.com





NOTES:

- New Deck Size: 10'x6'
- Deck Levels: 2
- Total Deck Area: 120sf
- Deck Height from Grade: 13'-10"
- Parcel: 313-22-123
- Land Use: 5100-1- Family Platted Lot
- Property Class: Residential



SITE PLAN
Scale: 1/8" = 1'

A-1

SITE PLAN

JAMES CRAMER, P.E. 440-655-1348
james@cramerengineering.com
CRAMER ENGINEERING

REVISION	DATE	BY	APP'D
1	01/10/2010	JAC	
2	01/10/2010	JAC	
3	01/10/2010	JAC	
4	01/10/2010	JAC	
5	01/10/2010	JAC	
6	01/10/2010	JAC	
7	01/10/2010	JAC	
8	01/10/2010	JAC	
9	01/10/2010	JAC	
10	01/10/2010	JAC	
11	01/10/2010	JAC	
12	01/10/2010	JAC	
13	01/10/2010	JAC	
14	01/10/2010	JAC	
15	01/10/2010	JAC	
16	01/10/2010	JAC	
17	01/10/2010	JAC	
18	01/10/2010	JAC	
19	01/10/2010	JAC	
20	01/10/2010	JAC	

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1455 Northland Ave.
Lakewood, OH 44107

CRAMER ENGINEERING, LLC
2019

CRAMER ENGINEERING, LLC
440-655-1348
james@cramerengineering.com
www.cramerengineering.com



Account: 101-0000-321. 30-02

REFERENCE No. BZA19-000010

APPLICATION

DOCKET No. 07-17-19

FEE PAID _____

BOARD OF ZONING APPEALS

Property Address 1381 Thoreau Rd. Property Owner Name Matthew Miller

Owner Phone 440 773 6005 Owner Address 1381 Thoreau Rd.

Zoning Residential - R2 Parcel Number _____

Description of Request/Hardship Request to build a wood privacy fence taller than 6 feet. Property is surrounded by commercial properties on 2 sides. One of which is city hall which currently has a 7.5 foot tall fence separating our properties. The other currently has an 8 foot tall chain link fence between the sidewalk and the parking lot.

APPLICATION FEE: \$25 Residential - \$50 Commercial. 8 foot fence

Incomplete or Late Applications will not be Accepted.

(See calendar on page 2 for deadlines)

Submission Requirements:

1. A detailed written description of the request signed by the applicant/owner.
2. A scaled site plan detailing elements of the proposal and showing adjacent properties and uses. (1 copy, 8.5 x 11).
3. Photos of the existing conditions.
4. Scaled elevations, sections and perspectives of proposed building improvements. (1 copy color, 8.5 x 11).
5. Authorization for Property Access signed by the Owner. (Pg. 2 of this application form).
6. Fee.

Applicant Name (Print Clearly): Matthew Miller Company _____

Applicant Address: 1381 Thoreau Rd.

Phone: 440 773 6005 Fax: _____ E-mail: mdmlr28@gmail.com

Signature: [Signature] Date: 6/30/2019

Owner Signature (if different from Applicant): _____

By signing I, the Owner of Property, hereby grant authority for the above applicant to represent my interest in this matter.

OFFICE USE ONLY: Application Reviewed and Accepted by: [Signature] Date: 7/31/2019

File History: _____

Bldg. Dept. Remarks: _____

ORD. _____

SECTION _____

AUTHORIZATION FOR PROPERTY ACCESS

(In signing this application,) I authorize members of the City's Building Department and Planning and Development Department access to my property for the limited purposes of photographing and verifying location and dimension of the area affected by my Architectural Board of Zoning Appeals applications and requests. A landlord of a single tenant structure must provide the written consent of the tenant. The City employee will, in case of one, two or three tenant structure, attempt to notify those residing on the property immediately prior to coming onto the property. In the case of a multi-tenant structure, the City employee will notify the building manager.

Any dog(s) on property? _____ Yes X No

Please Print or Type:

Owner/Agent Name: Matthew Miller

Property Address: 1381 Thorcau Rd.

Owner/Agent Phone: 440 773 6005

Tenant Name _____ Tenant Phone _____


Owner/Agent Signature

2019 Calendar Board of Zoning Appeals

Month	Application Deadlines		Pre-Review Meeting		Review Meeting	
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EXHIBIT A
SUMMARY POINTS OF VARIANCES IN LAKEWOOD BOARD OF ZONING APPEALS MEETING
FOR A VARIANCE TO BE GRANTED,

The Practical Difficulty test requires that the Board **consider and weigh** the following factors:

- (1) Whether there exist site conditions, such as narrowness, shallowness, or topography, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district; *Yes. Property is surrounded on 2 sides with commercial zoning.*
- (2) Whether the property in question is located near a non-conforming or non-harmonious use, structure, or site conditions, or whether the property in question abuts a less restrictive zoning district;
- (3) Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s);
- (4) Whether the variance(s) is substantial; *No. Fence that separates my property from City Hall does not conform to height restriction of 6'.*
- (5) Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s);
- (6) Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal);
- (7) Whether the property owner purchased the property with knowledge of the zoning restriction;
- (8) Whether the property owner's predicament feasibly can be obviated through some method other than a variance(s); and
- (9) Whether the spirit and intent of the Code would be observed and substantial justice done by granting the variance(s).

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City Hall

City Hall's 7.5' Tall Fence

Single Family Home
Back Yard

Garage

Green = Proposed Fence

Back Yard



58' Fence

58 Foot Proposed Fence

Apartment Building Parking Lot

16' Fence



16' Fence

Driveway

Commercial Building
Chain Link Fence
Enclosed Parking Lot

8' 6" Fence



29

House

Side Yard

4



